

18077-01-001

**Proposed Residential Development at
Athgarvan, Co. Kildare**

ROAD SAFETY AUDIT STAGE 1

July 2018

ROADPLAN

CONSULTING

7, Ormonde Road
Kilkenny.
R95 N4FE

Tel: 056 7795800
info@roadplan.ie

1. INTRODUCTION

- 1.1 This report describes a Stage 1 Road Safety Audit carried out at Athgarvan, Co. Kildare on behalf of Waterman Moylan Consulting. The audit was carried out on 11th July 2018 in the offices of Roadplan Consulting, Kilkenny.
- 1.2 The audit team members were as follows:-

George Frisby, BE CEng MIEI;

Harry Cullen, BE CEng MIEI
- 1.3 Both audit team members visited the site. The audit comprised an examination of the drawings relating to the scheme supplied by Waterman Moylan and an examination of the site.
- 1.4 This Stage 1 Audit has been carried out in accordance with the relevant sections of TII GE-STY-01024. The team has examined only those issues within the design relating to the road safety implications of the road access to the scheme, and has therefore not examined or verified the compliance of the design to any other criteria.
- 1.5 All of the problems described in this report are considered by the audit team to require action in order to improve the safety of the scheme and minimise accident occurrence.
- 1.6 Appendix A describes the audited drawings.

2. STAGE 1 AUDIT

2.1 Problem

The sight distance at the entrance to the proposed housing scheme is constrained by an existing neighbouring boundary wall on the eastern side of the development.



From an examination of the drawings provided, the following issues were identified:

- An 'x' distance of 2.0m may be tight at this location, particularly in light of proposing to move the existing southern road edge north of its current location in order to achieve visibility to the right.
- The taper from the existing to new road edge occurs through the junction mouth and as a result the proposed kerblines on the west side of the access may protrude out into the mainline carriageway.
- The taper lengths are short which results in an abrupt change in direction of the kerblines. This may lead to vehicles colliding with the kerblines.

Westbound drivers approaching the new junction may be following the existing road edge and may either collide with the new kerblines on the west side of the junction or a vehicle exiting the junction which is protruding onto the mainline in order to achieve adequate visibility of approaching vehicles.

Recommendation

A longer taper should be provided in advance of the junction, and a set-back of 2.4m for visibility splays should be provided at the access.

2.2 Problem

There is no footpath on the southern side of the public road. There is, however, a footpath on the northern side of the public road, which extends in both the easterly (towards the village) and westerly (towards the school) directions.



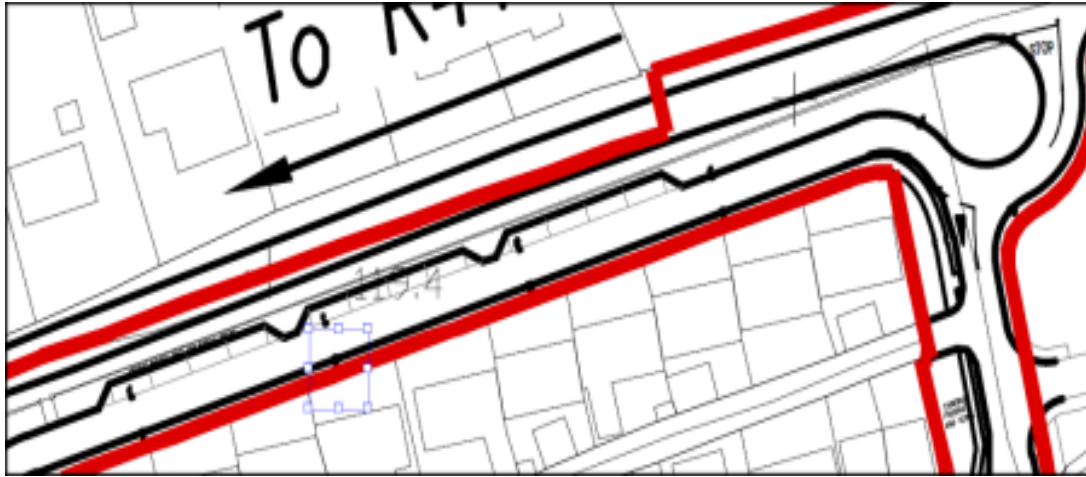
Pedestrians from this development would need to cross to road, at both the easterly and westerly end of the development, and the lack of adequate pedestrian crossing facilities could lead to an increase in pedestrian collisions at these locations

Recommendation

Pedestrian crossing facilities should be provided at each end of the development.

2.3 Problem

The parking bays, shown below, for the houses fronting onto the main road, are shown on the opposite side of the road from the houses. This means that people exiting their vehicles will have to cross an increasingly busy road in order to access their houses. There is also an increased risk to children exiting the vehicles, as there is just a small grass verge between them and the public road.

**Recommendation**

Relocate the parking bays to the south side to the access road to remove the need for crossing the access road.

2.4 Problem

From an examination of the drawings provided it appears that the footpath on the northern side of the road, near the western end of the site, may well be reduced in width as part of these works. As can be seen from the photo below, this footpath is already quite narrow and any reduction in width could mean that pedestrians would have to step onto the road, leading to an increased likelihood of collisions.

**Recommendation**

The width of the existing footpath should be maintained.

2.5 Problem

There is public lighting, extending from the eastern side of the site, finishes just where the road narrows and goes into a series of bends, near the northern end of the site. If this public lighting is not extended as part of a new scheme it could lead to increased likelihood of collisions in the hours of darkness.



Recommendation

Extend the public lighting to the western end of the site, as part of the development.

3. AUDIT TEAM STATEMENT

3.1 We certify that we have examined the drawing listed in Appendix A and have inspected the site. This examination has been carried out with the sole purpose of identifying any features of the design that could be removed or modified to improve the safety of the scheme.

Signed  George Frisby

Date11th July 2018.....

Signed  Harry Cullen

Date11th July 2018.....

APPENDIX A

List of Drawings Examined:

Drawing numbered P001 and entitled 'Site Location Plan' provided electronically in PDF format by Waterman Moylan

Drawing numbered P002 and entitled 'Proposed Road Layout Levels and Water Supply Layout' provided electronically in PDF format by Waterman Moylan

Drawing numbered P004 and entitled 'Autotrack Swept Path Analysis' provided electronically in PDF format by Waterman Moylan

Drawing numbered P005 and entitled 'Proposed Entrance Sightlines' provided electronically in PDF format by Waterman Moylan

Drawing numbered 1646-PP-0100 and entitled 'Proposed Site Plan' provided electronically in PDF format by Waterman Moylan from Deaton Lysaght Architects

Drawing numbered P002 Rev B and entitled 'Proposed Road Layout Levels and Water Supply Layout' provided electronically in PDF format by Waterman Moylan

Drawing numbered P005 Rev B and entitled 'Proposed Entrance Sightlines' provided electronically in PDF format by Waterman Moylan

LEGEND - SITE PLAN	
A	HOUSE TYPE A 1BED - SINGLE STOREY TOTAL NUMBER OF HOUSES: 3
B	HOUSE TYPE B 2BED - TWO STOREY TOTAL NUMBER OF HOUSES: 2
C	HOUSE TYPE C 3BED - TWO STOREY TOTAL NUMBER OF HOUSES: 12
D	HOUSE TYPE D 3BED - TWO STOREY TOTAL NUMBER OF HOUSES: 1
E	HOUSE TYPE E 3BED - TWO STOREY TOTAL NUMBER OF HOUSES: 2
TOTAL NUMBER OF HOUSES: 20	
	PRIVATE OPEN SPACE
	PUBLIC OPEN SPACE
	OTHER GREEN AREA
	BITUMAC ROAD FINISH
	CONCRETE PAVEMENT
	PERMEABLE PAVING
	SITE BOUNDARY
	PHASE 2

NOTES:
 1. TOTAL P.A. 1,950m²
 2. PUBLIC OPEN SPACE AREA: 482m²
 3. Residents - 2 parking spaces per housing unit
 4. Parking SPACES: - 2 parking spaces per housing unit
 5. Visitors - 1 stall for existing Mountain View & new development; 52 parking spaces



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PART 8
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SPECIFICATIONS

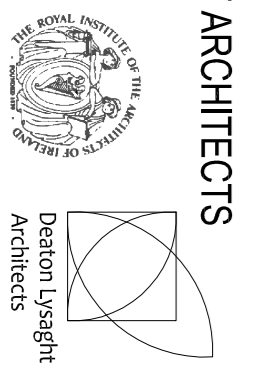
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NO.	REVISION:	

REVISIONS:		DATE:
NO.	REVISION:	

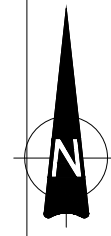
CLIENT:	KILDARE COUNTY COUNCIL
SCALE:	1:500
DRAWING NO.:	1646-P1-0100
DATE:	Jun 2018
DESIGNED BY:	ML
CHECKED BY:	ML
REV.:	1

DRAWING TITLE:
 PROPOSED SITE PLAN
PROJECT:
 HOUSING UNITS IN
 ATHGARVAN VILLAGE, CO. KILDARE

DEATON LYSAGHT ARCHITECTS
 44 SOUTH RICHMOND ST.
 DUBLIN 2, IRELAND.
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1. DO NOT SCALE. USE FIGURED DIMENSIONS ONLY.
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TOPOGRAPHICAL LAYOUT COLOURED GREEN FOR CLARITY

10 April 2018
 -- DRAFT --
 Graham Byrne

COMHAIRLE CONAE CHILL DARACH
 KILDARE COUNTY COUNCIL
 Devoy Park, Nass, Co. Kildare
 Phone (045) 980200 Fax (045) 980240



REV.	DATE	AMENDMENT	DRN	APPD

STATUS **FOR PLANNING (PART 8)**

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 Engineering Consultants
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 DUBLIN D03 H3F4 IRELAND. Tel: (01) 664 8900
 Email: info@waterman-moylan.ie www.waterman-moylan.ie

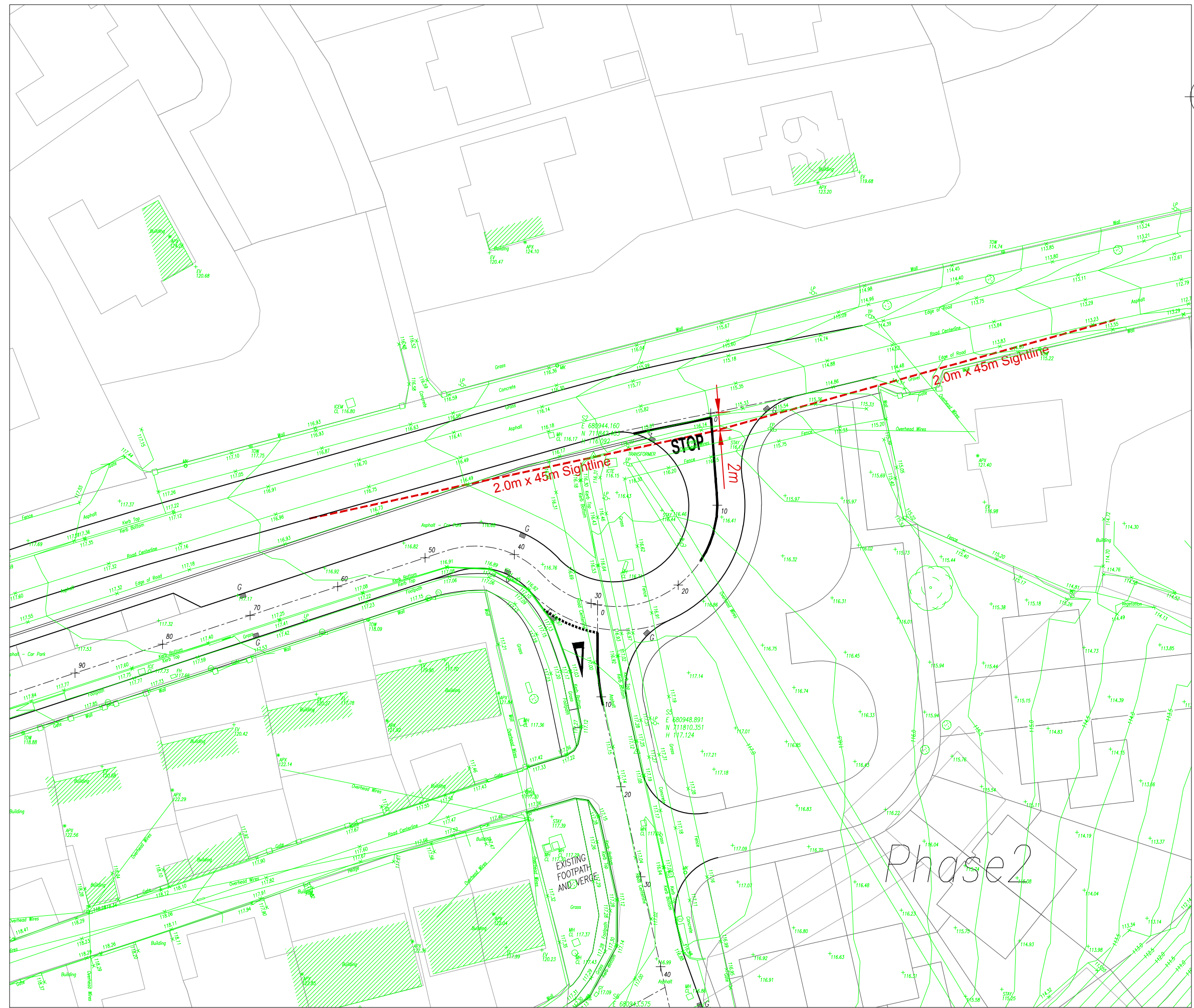
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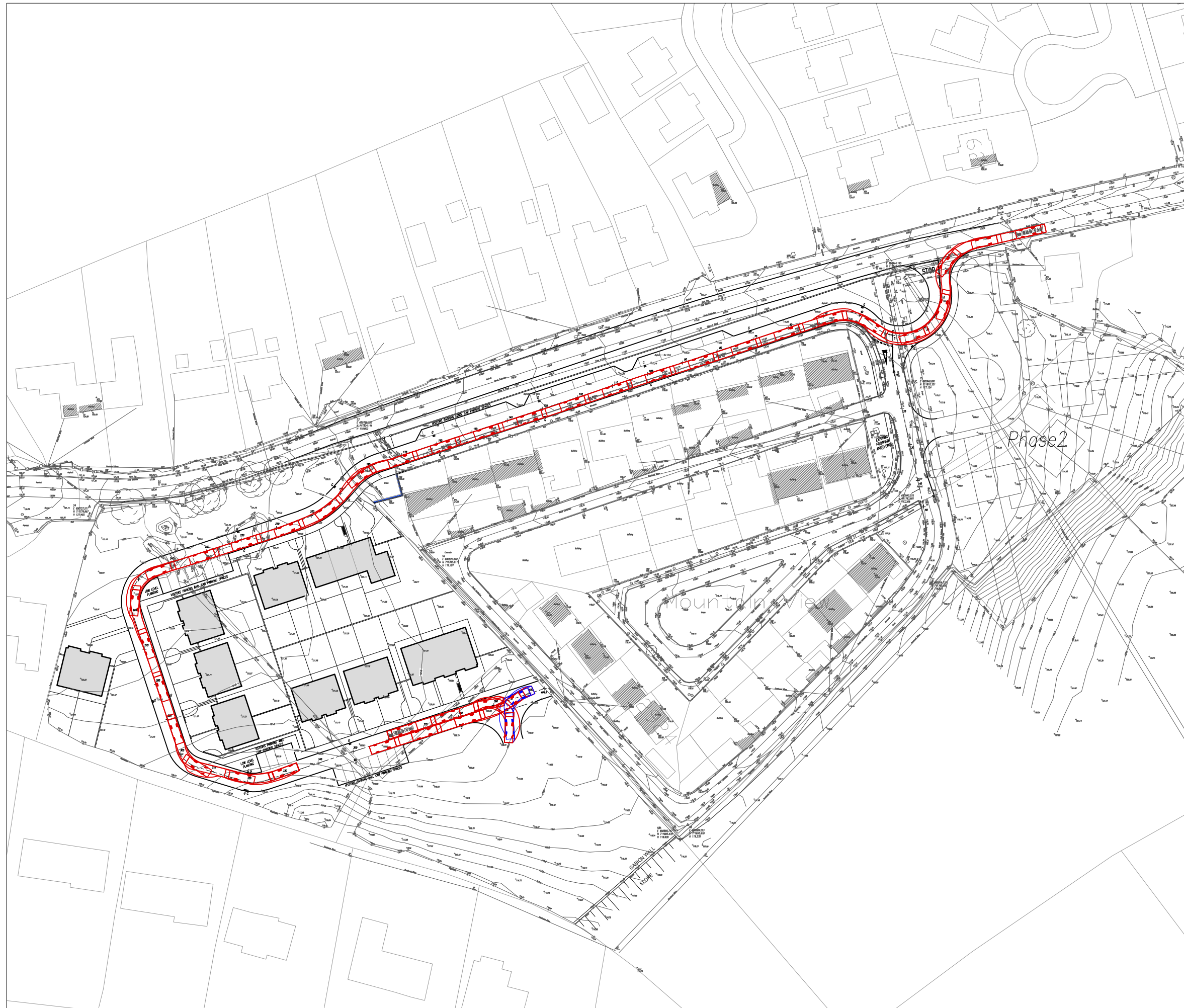
PROJECT
**HOUSING UNITS IN
 ATHGARVAN VILLAGE, CO. KILDARE**

TITLE
PROPOSED ENTRANCE SIGHTLINES

DRAWN G.Byrne	DESIGNED B.W.	APPROVED J.G.	DATE APRIL '18
SCALE 1:200 @A1	JOB NO. 17-028	DRG. NO. P005	REVISION

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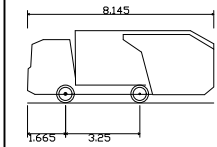




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LEGEND:



Phoenix 2-09N (with Elite 2 4x2 chassis)
 Overall Length 8.145m
 Overall Width 2.230m
 Overall Body Height 3.153m
 Min Body Ground Clearance 0.358m
 Track Width 2.200m
 Lock-to-lock time 4.00s
 Curb to Curb Turning Radius 6.800m

11:33

-- DRAFT --
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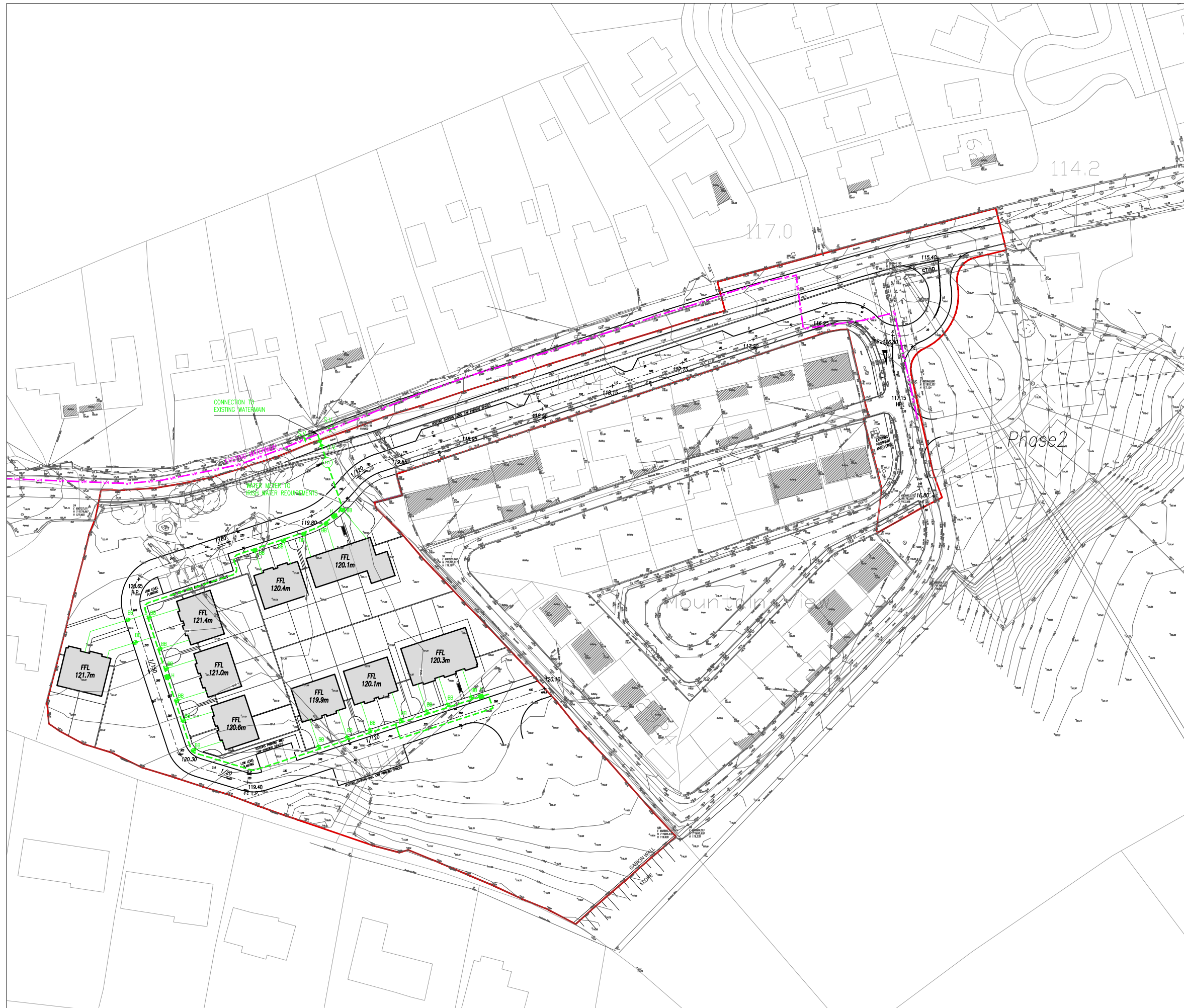
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 ARCHITECT **DEATON LYSAGHT ARCHITECTS**

PROJECT
**HOUSING UNITS IN
 ATHGARVAN VILLAGE, CO. KILDARE**

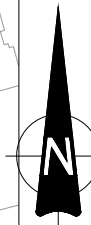
TITLE
AUTOTRACK SWEEP PATH ANALYSIS

DRAWN G.Byrne	DESIGNED B.W.	APPROVED J.G.	DATE APRIL '18
SCALE 1:500 @A1	JOB NO. 17-028	DRG. NO. P004	REVISION



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- LEGEND:
- H --- INDICATES PROPOSED 100mm PE WATERMAIN
 - S.V. --- INDICATES PROPOSED HYDRANT
 - BB --- INDICATES PROPOSED SLUICE VALVE
 - BB --- INDICATES PROPOSED BOUNDARY BOX AND HOUSE CONNECTION
 - FFL 120.1m INDICATES PROPOSED FINISH FLOOR LEVEL
 - 116.95m INDICATES PROPOSED ROAD LEVEL
 - 30 --- INDICATES PROPOSED ROAD CENTRE LINE AND CHAINAGE
 - 119.5 --- INDICATES EXISTING GROUND CONTOUR
 - Existing WATERMAIN --- WM --- INDICATES EXISTING PUBLIC WATERMAIN
 - --- INDICATES LANDS SUBJECT TO THIS PLANNING APPLICATION



10 April 2018
 -- DRAFT --
 Graham Byrne

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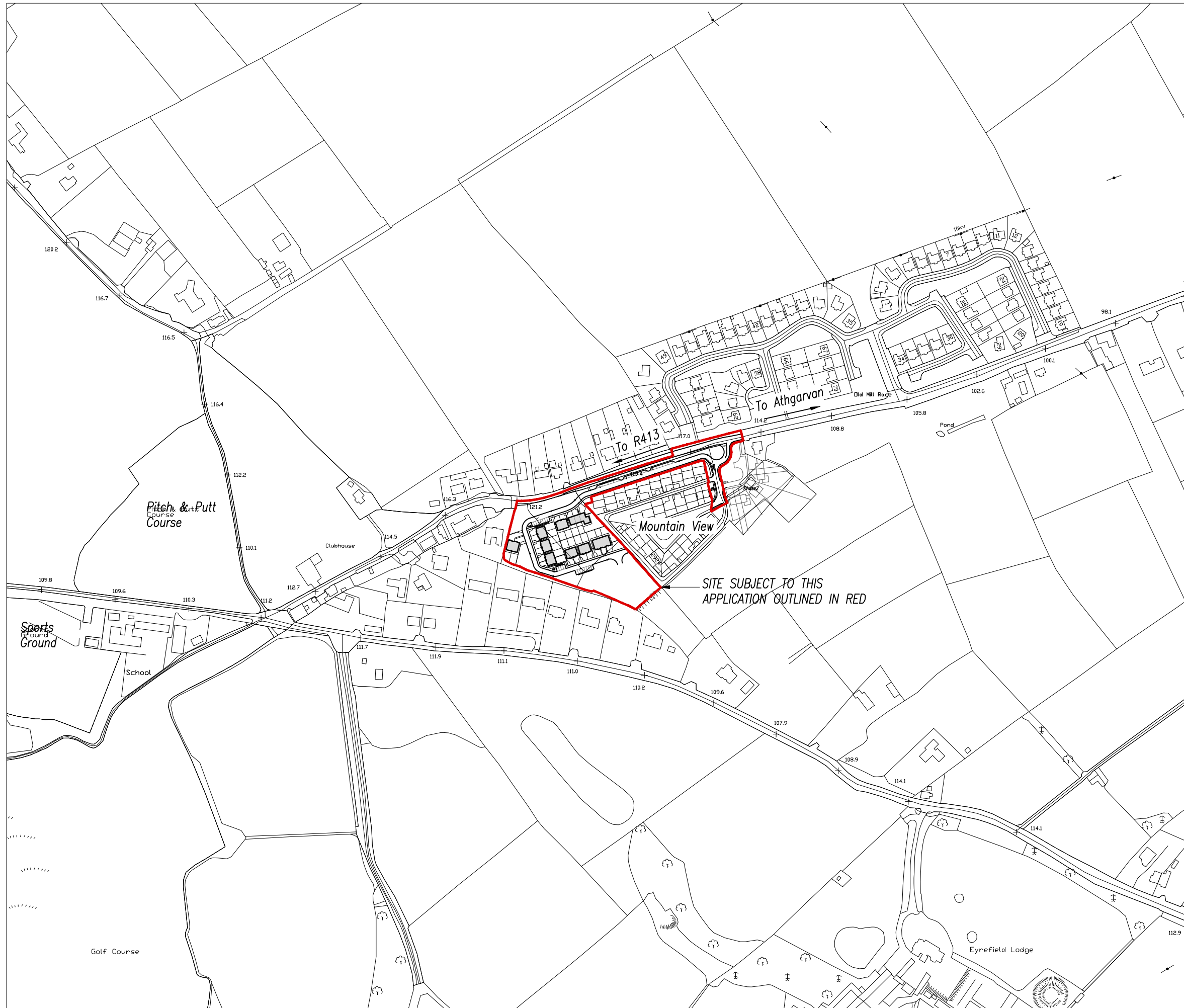
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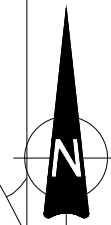
PROJECT
**HOUSING UNITS IN
 ATHGARVAN VILLAGE, CO. KILDARE**

TITLE
**PROPOSED ROAD LAYOUT LEVELS
 AND WATER SUPPLY LAYOUT**

DRAWN G.Byrne	DESIGNED B.W.	APPROVED J.G.	DATE APRIL '18
SCALE 1:500 @A1	JOB NO. 17-028	DRG. NO. P002	REVISION



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10 April 2018
 -- DRAFT --
 Graham Byrne
 11:30

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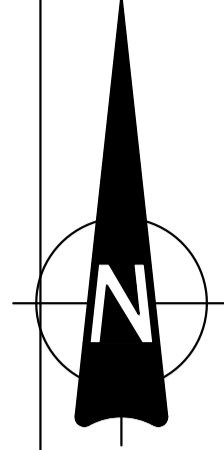
PROJECT
**HOUSING UNITS IN
 ATHGARVAN VILLAGE, CO. KILDARE**

TITLE
SITE LOCATION PLAN

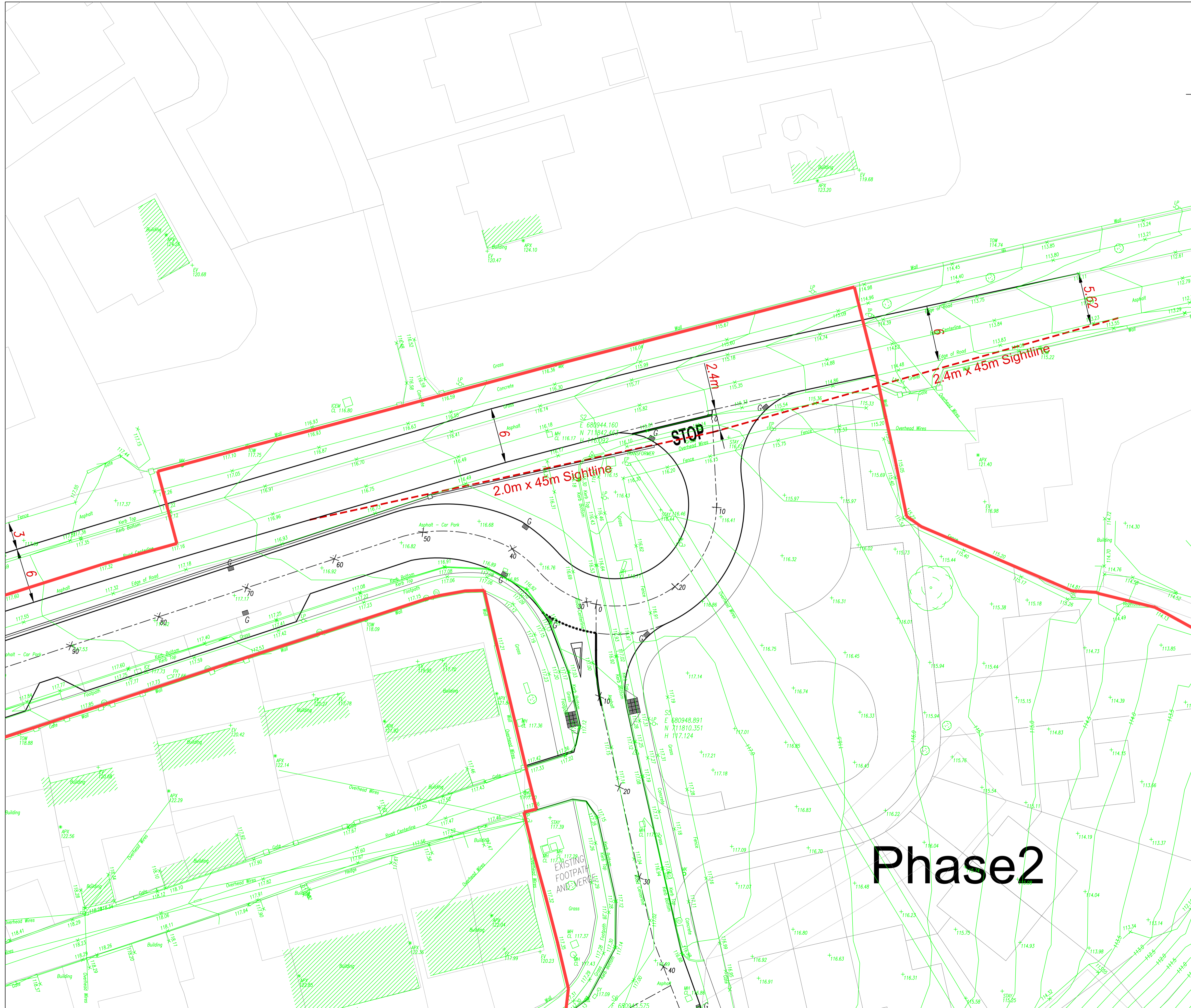
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SCALE 1:2000 @A1	JOB NO. 17-028	DRG. NO. P001	REVISION

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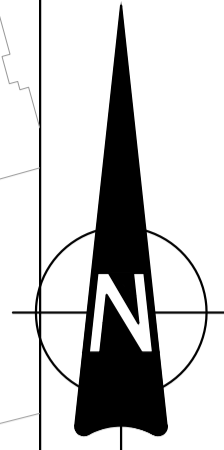
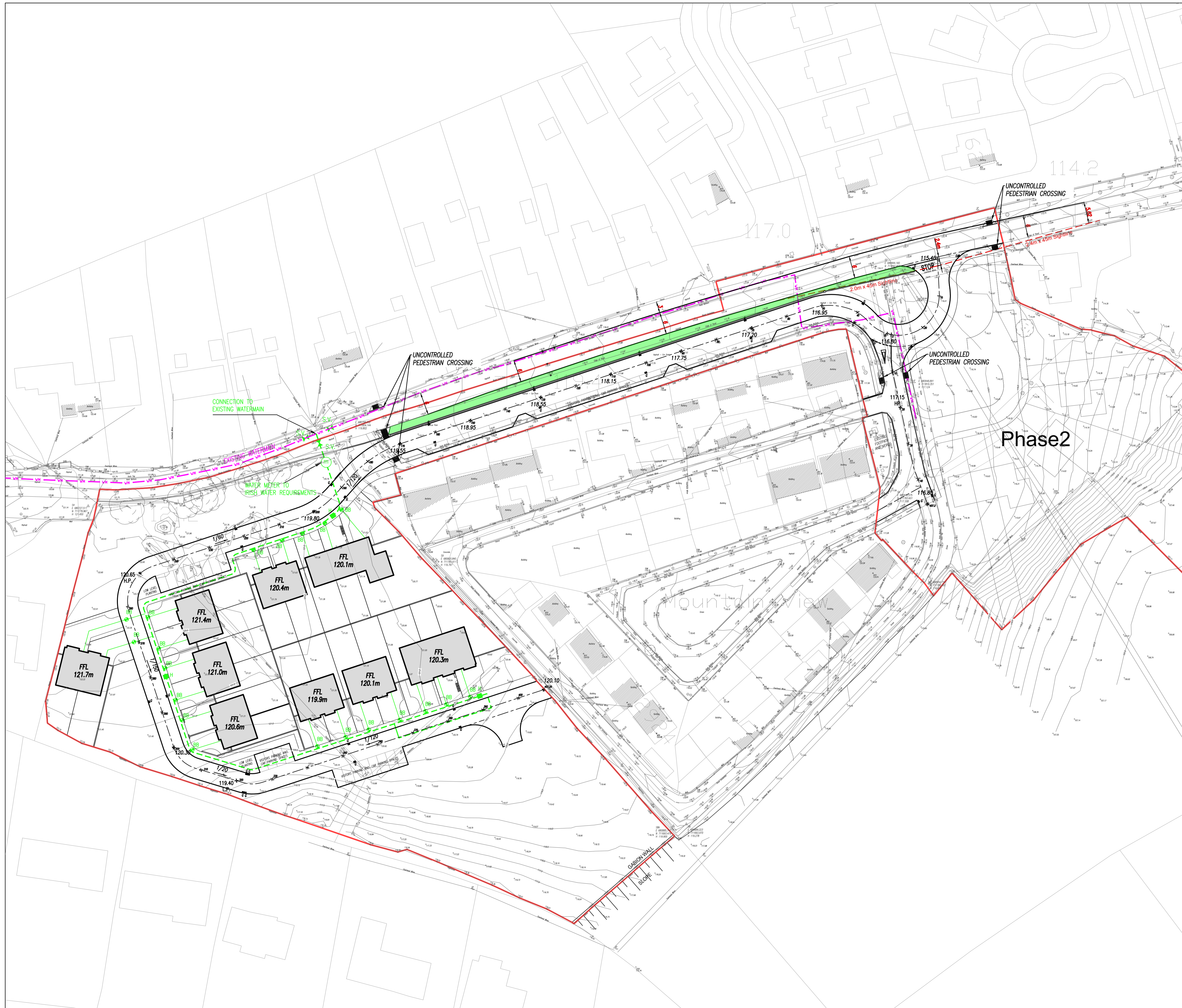
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A	24/07/18	UPDATED LAYOUT	PW	BW
REV.	DATE	AMENDMENT	DRN	APPD

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CLIENT	KILDARE COUNTY COUNCIL
ARCHITECT	DEATON LYSAGHT ARCHITECTS
PROJECT	HOUSING UNITS IN ATHGARVAN VILLAGE, CO. KILDARE
TITLE	PROPOSED ENTRANCE SIGHTLINES

DRAWN	DESIGNED	APPROVED	DATE
C.Byrne	B.W.	I.W.	JULY '18
SCALE	JOB NO.	DRG. NO.	REVISION
1:200 @A1	17-028	P005	B



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LEGEND:

- INDICATES PROPOSED 100mm PE WATERMAIN
- INDICATES PROPOSED HYDRANT
- INDICATES PROPOSED SLUICE VALVE
- INDICATES PROPOSED BOUNDARY BOX AND HOUSE CONNECTION
- FFL 120.1m** INDICATES PROPOSED FINISH FLOOR LEVEL
- 116.95m** INDICATES PROPOSED ROAD LEVEL
- 30** INDICATES PROPOSED ROAD CENTRE LINE AND CHAINAGE
- 119.5** INDICATES EXISTING GROUND CONTOUR
- EXISTING WATERMAIN
- INDICATES EXISTING PUBLIC WATERMAIN
- INDICATES LANDS SUBJECT TO THIS PLANNING APPLICATION
- GRASS VERGE GENERALLY 2m WIDE

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B	30/07/18	UPDATED LAYOUT	PW	BW
A	24/07/18	UPDATED LAYOUT	PW	BW
REV.	DATE	AMENDMENT	DRN	APPD

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 ARCHITECT **DEATON LYSAGHT ARCHITECTS**

PROJECT
**HOUSING UNITS IN
 ATHGARVAN VILLAGE, CO. KILDARE**

TITLE
**PROPOSED ROAD LAYOUT LEVELS
 AND WATER SUPPLY LAYOUT**

DRAWN C. Byrne	DESIGNED B.W.	APPROVED I.W.	DATE JULY '18
SCALE 1:500 @A1	JOB NO. 17-028	DRG. NO. P002	REVISION B

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SAFETY AUDIT FEEDBACK FORM

Scheme: Proposed Residential Development Athgarvan, Co. Kildare

Document Number: 18077-01-001

Audit Stage: Stage 1

Date Audit Completed: 11th July 2018

Paragraph No. In Safety Audit Report	To Be Completed By Designer			To Be Completed by Audit Team Leader
	Problem accepted (yes/no)	Recommended measure accepted (yes/no)	Describe alternative measure(s). Give reasons for not accepting recommended measure	Alternative measures or reasons accepted by auditors (yes/no)
2.1	Yes	Yes – drawing has been revised as per the recommendations. See attached Drg. 17-091-P002B and 17-091-P005B.	—	—
2.2	Yes	Yes – uncontrolled pedestrian crossings have been added at each end of the development.	—	—
2.3	Yes	Yes – parking bays have been relocated to the southern side of the access road.	—	—
2.4	Yes	Yes – the road re-alignment has been adjusted to maintain the existing footpath width in the narrow section.	—	—
2.5	Yes	Yes – public lighting to be included at detailed design stage as per the recommendations.	—	—

Safety Audit Signed off J. Worrell Design Team Leader Date 30/07/18

Safety Audit Signed off L. Harratt Employer Date 30.07.18.

Safety Audit Signed off George Frisk Audit Team Leader Date 30/7/18

Please complete and return to: Roadplan Consulting Ltd.
7, Ormonde Road
Kilkenny
E-mail: info@roadplan.ie